

GENERAL PLAN NOTES

- a. The construction shall not restrict a fivefoot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- b. An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.
- c. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system.
- d. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply.
- e. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor.
- f. Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets will be adapted for low water consumption.
- g. Smoke detectors shall be provided for all dwelling units intended for human occupancy, where a permit is required for alterations, repairs, or additions.
- h. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level.

PROPERTY INFORMATION

Owner: Respectful Realtors LLC
 Marcus Livingston
 Mailing Address: 1111 Wilshire Blvd. 342
 Los Angeles, CA 90017
 Phone: (832) 290-1711

County: Baltimore City
 Ward: 0019
 Lot #: 028
 Subdivision: 0000
 Block: 0214

Property Address: 1426 Hollins St.
 Baltimore, MD 21223

Use: SFR
 Zoning: R-8
 Lot Size: 15x150
 Sq. Ft.: 2,137
 Stores: 3
 # of Units: 1
 Bedrooms: 4
 Bathrooms: 2.5
 FirePlace: 1
 # of Rooms: 9.5
 Heating: Floor/Wall Furnace
 Air: Central
 Garage: Back/Detached
 Parking: Street/ Garage

BUILDING INFORMATION

(E) Bedrooms: 3
 (E) Bathrooms: 4.5
 (N) Bedrooms: 4
 (N) Bathrooms: 2.5

(E) Sq. Ft.: 2,137

Covered Porches: 2 (11.08ft. x 7.7ft)

Total Building Area: 2,137

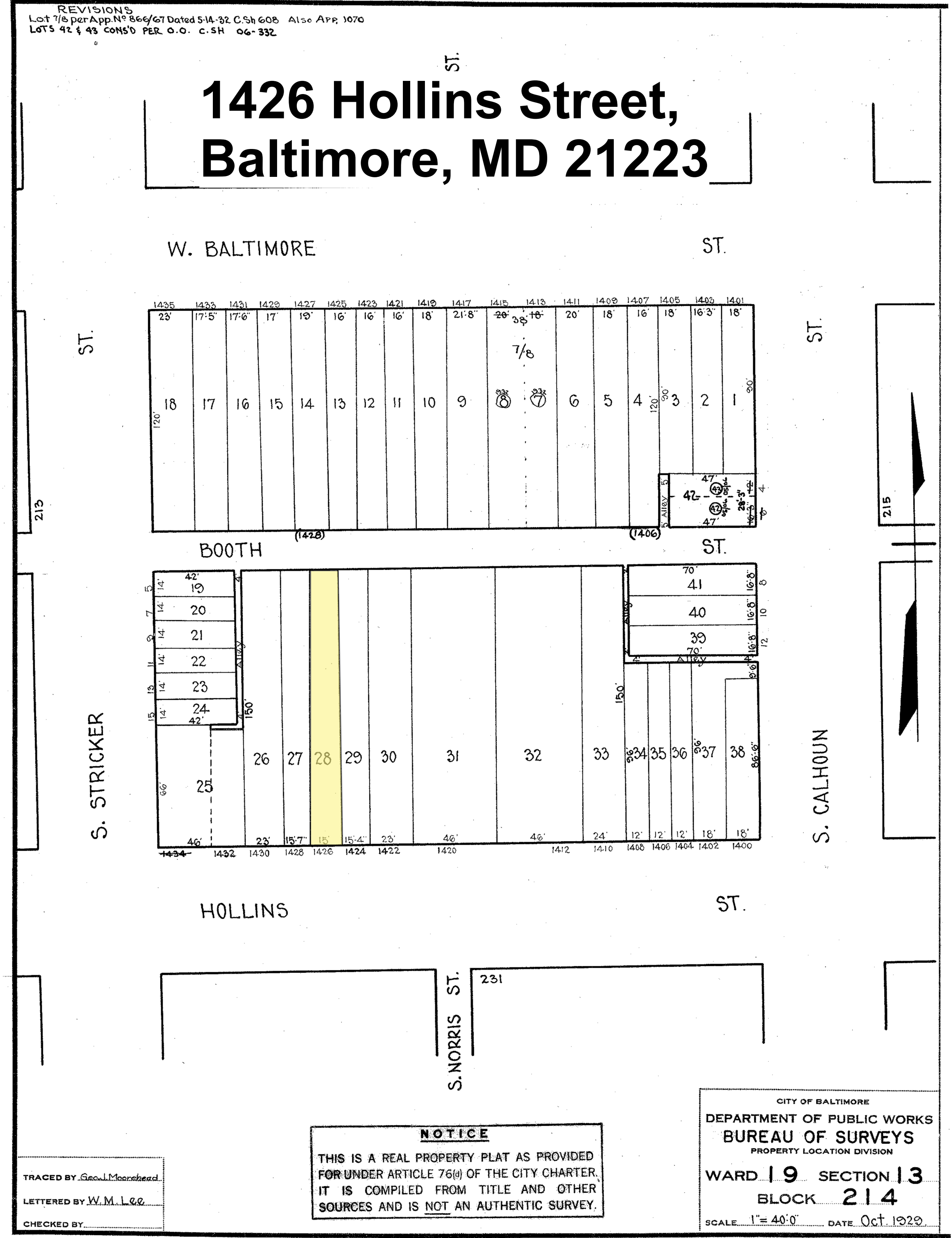
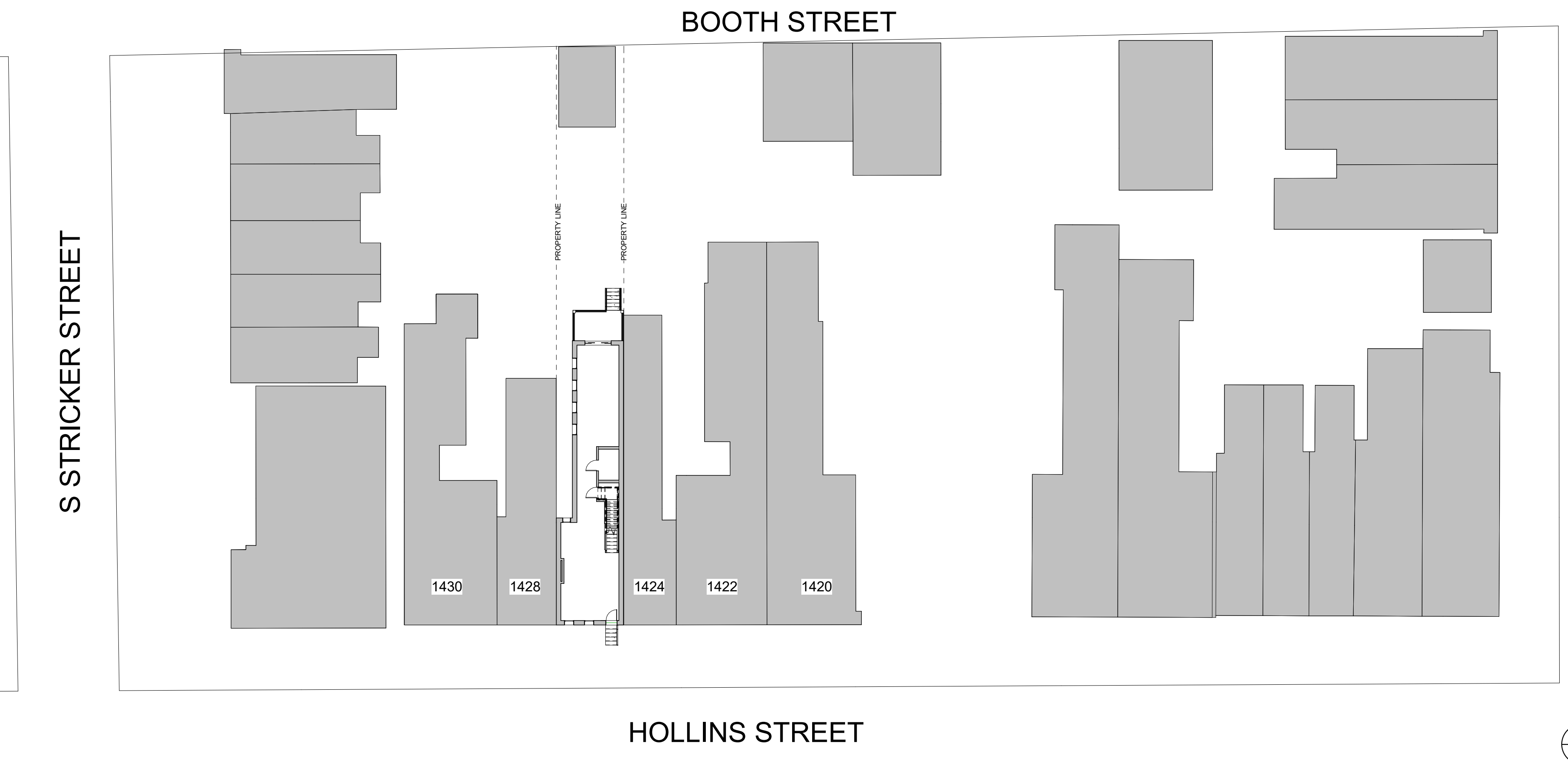
(E) No. of Stories: 3
 (N) No. of Stories: 3
 (E) Building Height: 35'-7"
 (N) Building Height: 35'-7"

Job Description:
 1-REHABILITATE AND DEMOLISH NECESSARY INTERIOR FLOORS, WALLS, PLUMBING, AND HVAC INTO HABITABLE CONDITIONS FOR A SINGLE-FAMILY RESIDENTIAL PROPERTY
 2- BEDROOM ADDITION
 3-REPLACE REAR PATIO DOORS ON LEVEL 1 & 2
 4-REPAIR ALL WINDOW AND DOOR TRIM AS NECESSARY TO REFLECT ORIGINAL INTENDED CONDITION
 5-REPAIR ALL ROOF CORNICES AS NECESSARY TO REFLECT ORIGINAL INTENDED CONDITION
 6-REPAIR EXTERIOR BRICK WHERE NECESSARY
 7- EXISTING EXTERIOR FRONT FACADE DETAILS, COLORS, AND STYLES TO REMAIN AS EXISTING

ABBREVIATION LEGEND

&	AND	E. (E)	EAST, EXISTING	MAX.	MAXIMUM	SR	SOLAR REFLECTANCE
@	AT	EA	EACH	MC	MEDICINE CABINET	SSK	SERVICE SINK
CL	CENTER LINE	ELEC.	ELECTRIC	M.C.B.	METAL CASING BEAD	SS	STAINLESS STEEL
(E)	EXISTING	EL.	ELEVATION	MTL.	METAL	STL.	STEEL
(N)	NEW	EQ.	EQUAL	MFR.	MANUFACTURER	STD.	STUD
PL	PROPERTY LINE	EXH.	EXHAUST	MIN.	MINIMUM	STR.	STRUCTURAL
ACOUS.	ACOUSTIC	EXP.	EXPANSION	MISC.	MISCELLANEOUS	SUSP.	SUSPENDED
ASPH.	ASPHALT	EXT.	EXTERIOR	MECH.	MECHANICAL	SYM.	SYMMETRICAL
A/C	AIR CONDITIONING	F.O.	FACE OF	N. (N)	NORTH, NEW	SYS.	SYSTEM
ADJ.	ADJUSTABLE	FD	FLOOR DRAIN	NG	NATURAL GAS	T	TREAD
A.F.F.	ABOVE FINISH FLOOR	FH	FIRE HYDRANT	N.I.C.	NOT IN CONTRACT	TBD	TO BE DETERMINED
AL	ALUMINUM	FHC	FIRE HOSE CABINET	NO.	NUMBER	T.C.	TOP OF CURB
ANOD.	ANODIZED	FIN.	FINISH	N.T.S.	NOT TO SCALE	TEL.	TELEPHONE
APPROX.	APPROXIMATE	FLR.	FLOOR	O.A.	OVER ALL	TEMP.	TEMPERED
BCS	BABY CHANGING STN.	F.O.F.	FACE OF FINISH	O.C.	ON CENTER	THK.	THICKNESS
BD.	BOARD	F.O.S.	FACE OF STUD	O.D.	OUTSIDE DIA.	THR.	THRESHOLD
BLDG.	BUILDING	FT	FOOT	OPP.	OPPOSITE	T.O.	TOP OF
BLK.	BLOCK	FX	FIRE EXTINGUISHER	O/	OVER	T.O.C.	TOP OF CONCRETE
BOTT.	BOTTOM	FXC	F.X. CABINET	PERF.	PERFORATED	T.O.G.	TOP OF GRADE
CAB.	CABINET	GAU.	GAUGE	PLAM	PLASTIC LAMINATE	TTD T.	TISSUE DISPENSER
CB	CATCH BASIN	GALV.	GALVANIZED	PT.	POINT	TV.	TELEVISION
CEM.	CEMENT	GD	GARBAGE DISPOSAL	PTD	PAPER TOWEL DISPEN.	TYP.	TYPICAL
CI	CAST IRON	GR.	GRADE	PTN.	PARTITION	T&G	TONGUE & GROOVE
CJ	CONTROL JOINT	GYP.	GYP SUM	PLYWD.	PLYWOOD	UNO	UNLESS NOTED OTHERWISE
CLG.	CEILING	HDY	HAND DRYER	PVC	POLY VINYL CHLORIDE	VB	VAPOR BARRIER
COL.	COLUMN	HT.	HEIGHT	(R)	RELOCATED	VT	VINYL TILE
CONC.	CONCRETE	HB	HOSE BIBB	RA	RETURN AIR	VERT.	VERTICAL
CONT.	CONTINUOUS	HWD	HARDWOOD	RD	ROOF DRAIN	VL	VERIFY LOCATION
CT	CERAMIC TILE	HORIZ.	HORIZONTAL	REF.	REFRIGERATION	W	WEST
CTR.	CENTER	HR	HOUR	RESL.	RESILIENT	W/	WITH
CMU	CONC. MASONRY UNIT	I.D.	INSIDE DIA.	RM.	ROOM	WC	WATER CLOSET
DF	DOUGLAS FIR	INSUL.	INSULATION	R.O.	ROUGH OPENING	WD	WOOD
DET.	DETAIL	INT.	INTERIOR	S	SOUTH	WGL	WIRE GLASS
D.G.	DECOMPOSED GRANITE	JT.	JOINT	SA	SUPPLY AIR	W/O	WITHOUT
DIA.	DIAMETER	LAM.	LAMINATE	SCD	SEAT COVER DISPENSER	WP.	WATERPROOFING
DIM.	DIMENSION	LAV.	LAVATOR	SD	SOAP DISPENSER	WRC	WASTE RECEPTACLE
DN.	DOWN			SHT.	SHEET	YD.	YARD
DS	DOWN SPOUT			SIM.	SIMILAR		
DWG.	DRAWING			SQ.	SQUARE		

SITE PLAN 1" = 20'-0"



909 W TEMPLE ST., 628A LOS ANGELES, CA 90012
 (773) 220-0722
 andersondesignstudio@gmail.com

Contractor:
 Dethan Watts

Sub-Contractor:
 Agripin Garcia Reyes

LEGAL DESCRIPTION

Zoning:	R-8
Ward:	19
Neighborhood:	19010468.03
Subdivision:	0000
Section:	13
Block:	0214
Lot:	028
Yr Built:	1857
Lot Size:	15x150
Sq. Ft.:	2,137

JOB DESCRIPTION

3-STORY, 4 BED, 2.5 BATH
 BALTIMORE ROW HOUSE
 RENOVATION WITH COMPLETE
 INTERIOR DEMOLITION AND MINOR
 EXTERIOR FACADE IMPROVEMENTS
 AND REPAIRS

NOT FOR CONSTRUCTION

OWNER:
 Respectful Realtors
 1111 Wilshire Blvd. 342
 Los Angeles, CA 90017

Hollins
 1426 Hollins St., Baltimore, MD 21223

General Information

Project Number	002
Date	03/23/2021
Drawn By	ADS LLC
Checked By	Checker

A.1
 Scale As indicated

Contractor:
Dethan Watts

Sub-Contractor:
Agrim Garcia Reyes

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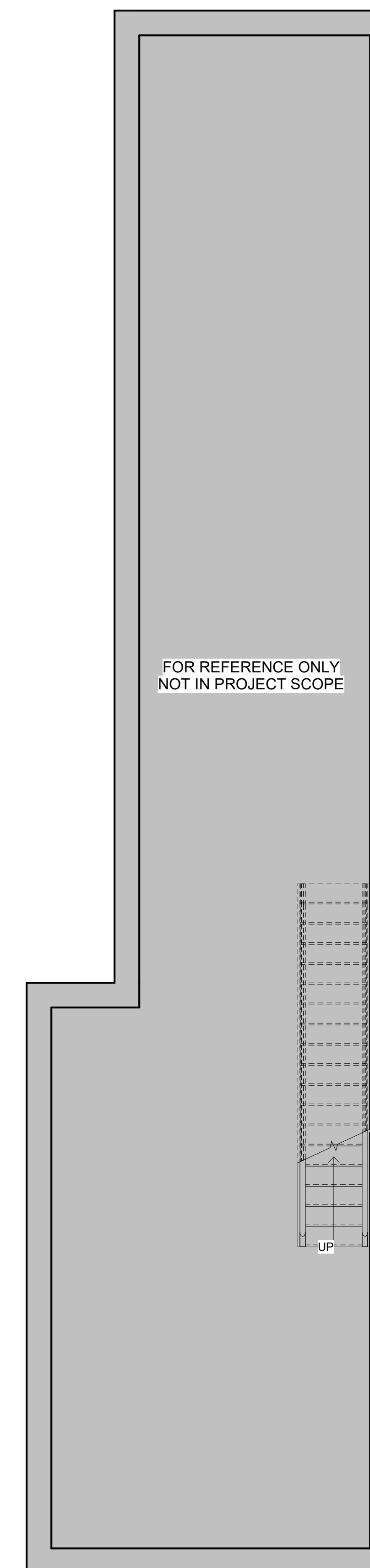
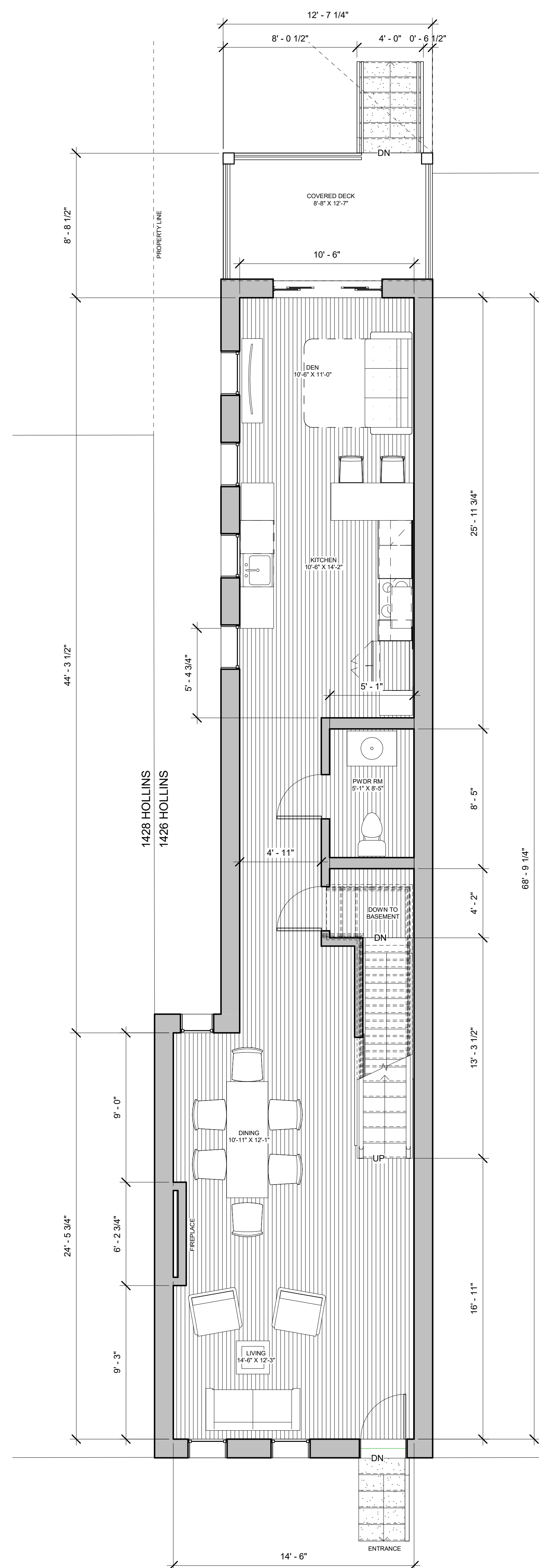
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**BASEMENT &
LEVEL 01 FLOOR
PLAN**

Project Number	002
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A.2

Scale 1/4" = 1'-0"



Contractor:
Dethan Watts

Sub-Contractor:
Agrispin Garcia Reyes

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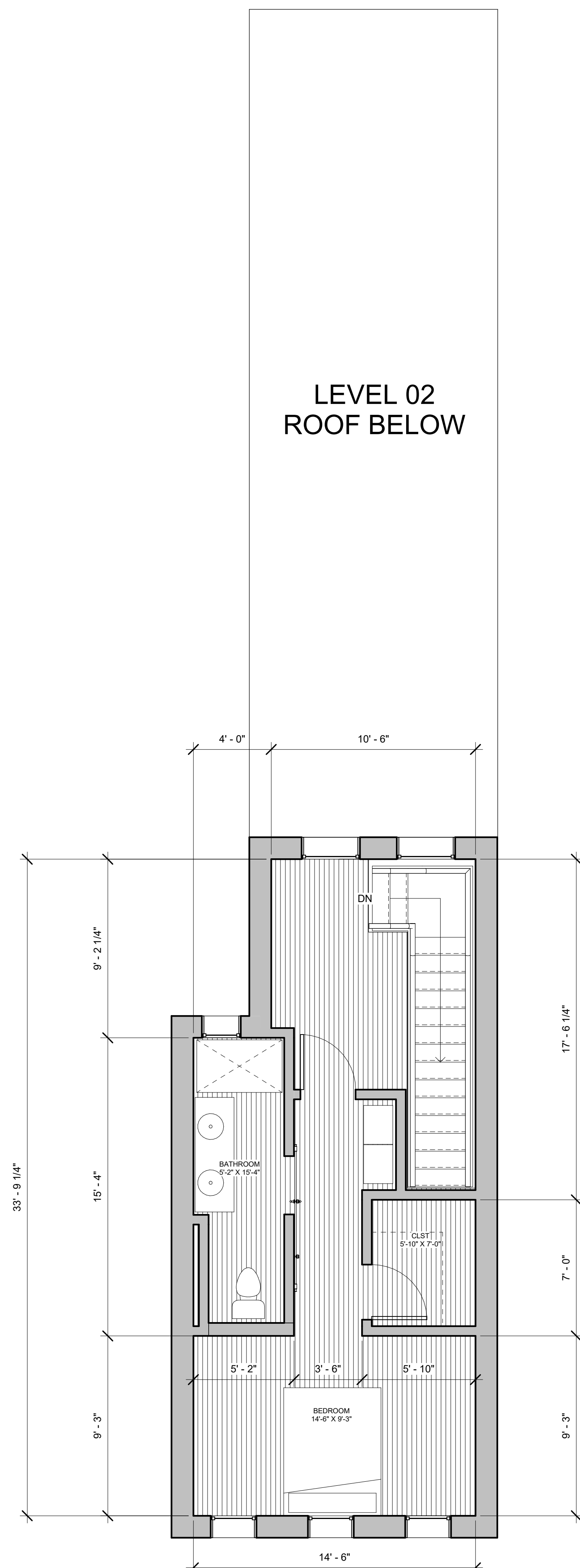
**LEVEL 02 & 03
FLOOR PLANS**

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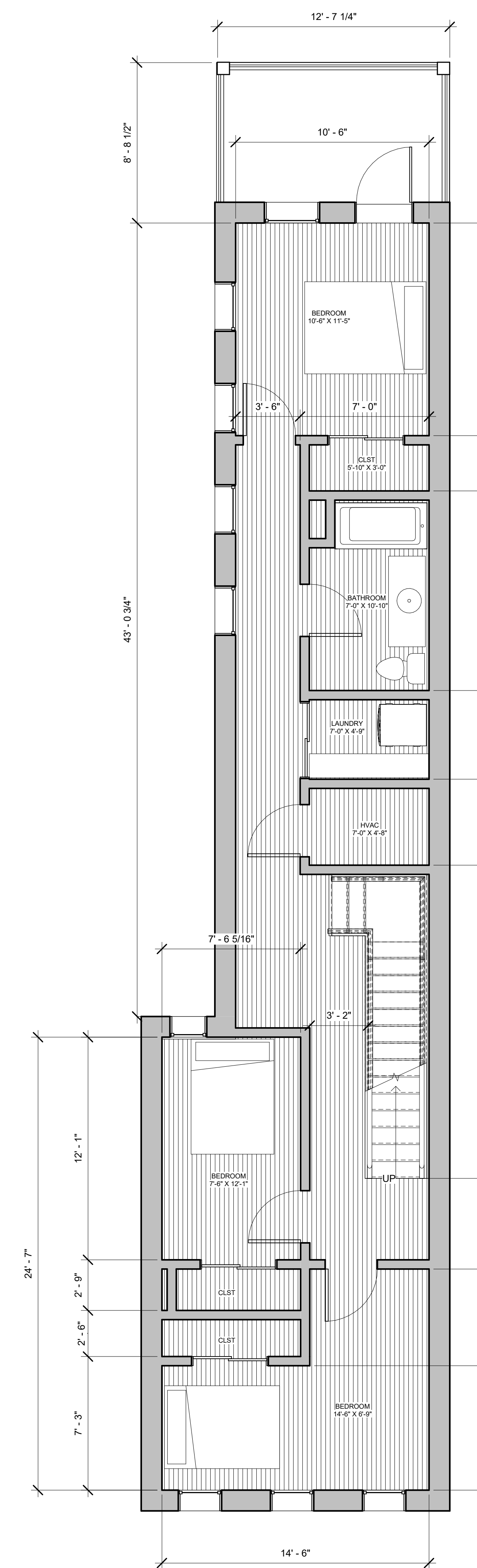
A.3

Scale 1/4" = 1'-0"

**LEVEL 02
ROOF BELOW**



② LEVEL 03 FLOOR PLAN
1/4" = 1'-0"



① LEVEL 02 FLOOR PLAN
1/4" = 1'-0"

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Sub-Contractor:
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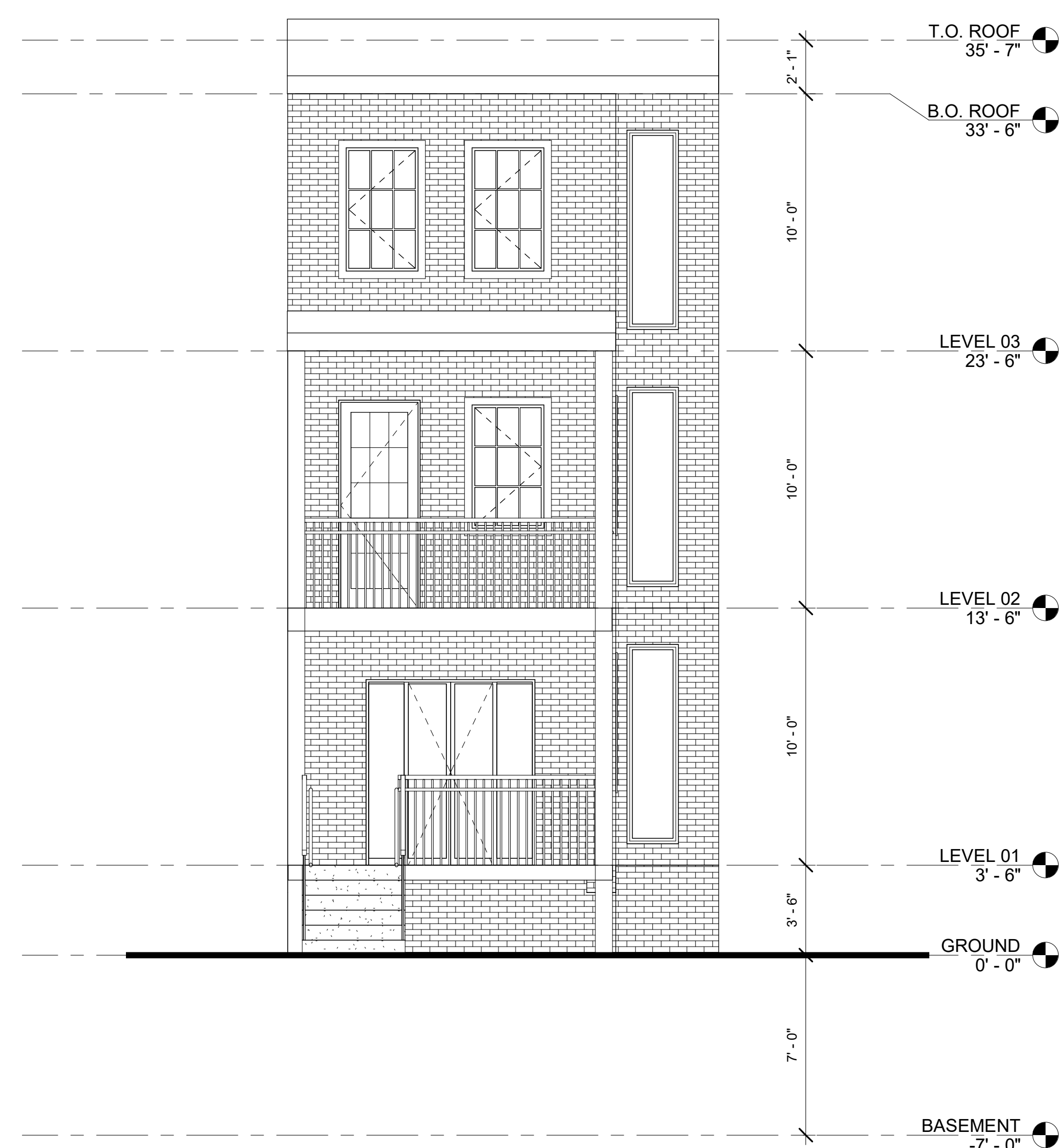
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**EXTERIOR
ELEVATIONS**

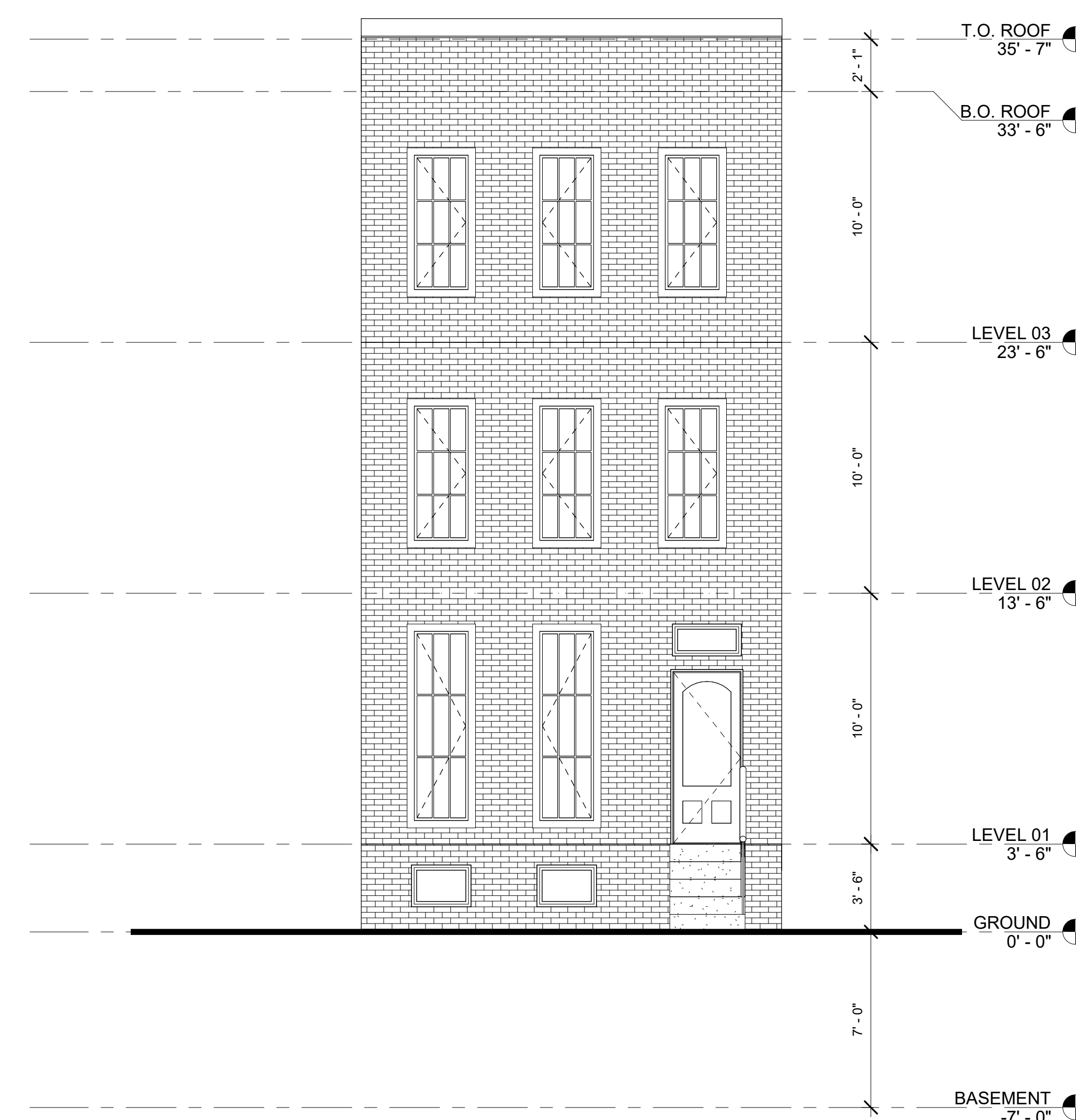
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Drawn By	ADS LLC
Checked By	Checker

A.4

Scale 1/4" = 1'-0"



② REAR ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION
1/4" = 1'-0"